

For Sale

On Behalf of DF Butters and WK Dawson Joint Fixed Charge Receivers

Marston's Arena
The Quayside
Wincham Avenue
Wincham
Northwich
CW9 6GB



www.gvagrimsley.co.uk
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Contact

For further information or to arrange an appointment please speak to:

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- Modern purpose built 5,000 capacity sports stadium
- 1,200 seats/remainder standing
- Excellent add-on facilities including restaurants/bar areas
- Six executive boxes/large amount of potential office space
- Further development opportunities
- Existing planning permissions
- 9.2 acres/ample car parking
- Freehold - substantial offers invited

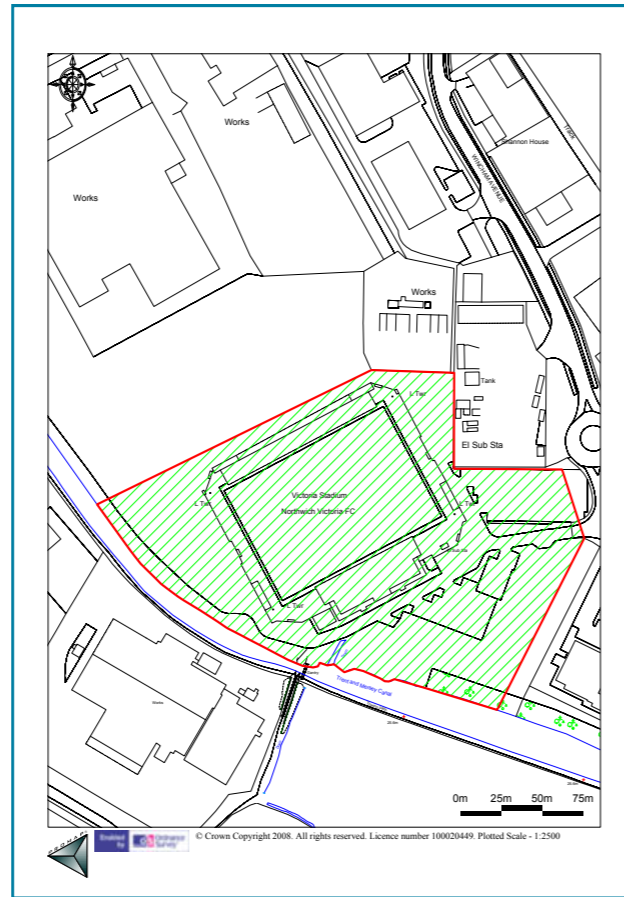
Location

Northwich lies approximately 35 km (22 miles) south west of Manchester. It is a busy market town surrounded by pleasant open rolling Cheshire countryside, a town with its origins in the salt industry although significantly diversified since. Access to the town is good via the A556 which links directly to the M6 motorway at Junction 19, 9km (6 miles) away.

The stadium itself is situated in Wincham, a district of Northwich on its easterly boundary. More particularly the subject premises lie on the fringe of an industrial estate yet with good access to the A556. Forming the southerly boundary of the property is the Trent and Mersey canal, a popular cruising canal forming part of the Cheshire Ring.

Description

The property comprises a purpose built non-league football stadium. The stadium, its immediate surroundings and surfaced car parking stand on 1.93 hectares (4.78 acres) of the site. The remainder being currently undeveloped, is loose stone covered, resulting from derelict land reclamation carried out by Cheshire County Council. There are proposals to develop the vacant land for a 20-berth canal narrowboat marina, two all-weather five-a-side training pitches and with a two-storey services building. The stadium was completed in 2005/06. It consists of two covered stands facing each other on opposite sides of the pitch with, at each end, open non terraced standing areas. There are substantial boundary walls surrounding the stadium and on each corner are turnstiles and mass exits. The areas beneath it and executive boxes were completed in August 2006. The pitch is grassed and completed to a high standard, has wide perimeter circulation areas and automatic pop-up irrigation. At each corner of the pitch is a floodlight column.



Accommodation

Dane Bank Stand

2,900 person standing only beneath a steel frame cantilevered roof building;

- two sets of male, female and disabled toilets
- switch room
- club office
- stewards room
- first aid post
- groundsman's stall and office
- two fast food licensed bar areas

Victoria Stand

1,200 person full seater beneath a steel portal framed cantilevered roof building with metal cladding.

Ground Floor

- reception area with a 8-person lift
- Miguel's restaurant - 100 cover
- Italian restaurant – 120 cover
- former Herriots bar – 200 cover with separate toilet facilities
- home and away changing, match officials changing
- medical rooms, three consulting rooms, laundry, kit room, etc

First Floor

- six executive boxes, each for 12 persons
- chairman's suite (60 cover)
- boardroom/offices
- executive suite – 200 cover with bar
- executive kitchen
- stadium control room with CCTV, audio, TV studio
- disabled viewing area

The open ends each have a crowd capacity of 500 persons each with a full set of toilets.

The remainder of the site has surfaced car parking for 350 vehicles.



Fixtures and Fittings

We understand that whilst some are owned outright there are a number of items including audio/visual, catering equipment and the passenger lift which may be subject to lease/loan or hire purchase agreements. A schedule of these will be made available.

We understand the property has the benefit of all mains services.

Rateable Value

Description: Football ground and premises
Rateable Value: £17,500

Description: Club and premises
Rateable Value: £7,800

The current rate in the pound for 2008/09 is 46.2 pence. The small business multiplier is 45.8 pence.

Tenure/Tenancy

Freehold. There is a service agreement for 25 years to Northwich Victoria Football Club. Copies of this agreement will be available to seriously interested parties.

Price

Offers are sought for the freehold interest both subject to the current service agreement or alternatively with full vacant possession.

Further Information

For further information please contact the Licensed Leisure and Hotels Department of GVA Grimley Ltd Manchester office on the numbers overleaf. All additional information, appointments to view, etc by arrangement through GVA Grimley Ltd.

Planning/Licenses

The locality is designated for employment uses B1, B2 and B8. The original development of the stadium was in accordance with planning application reference APP/2000/0805. The decision was issued on 19 March 2003 and referred to a "new football stadium including pitch, stands, shop, changing, hospitality suite, car and coach parking". There are two further planning consents in respect of construction of two all-weather pitches and a further consent in relation to a two-storey building for changing accommodation associated with the all-weather pitches.

Our understanding is that the single premises licence on site allow the sale of alcohol Monday through Sunday, 11.00 am until 1.00 am although there are conditions attached.

Further enquires can be made of Vale Royal Borough Council on 01606 862862.

